

Ocean Shore Apartments

Project Information

Project Description:

New residential building on an existing lot in Pacifica, CA. Wood framed three stories, 4 units, 27' base height, 1/2" rise setbacks, 8' clear height with a common entry.

Project Address:

4000 Palmetto Ave Pacifica, CA

Designer:

DB Construction Inc, 376 Kono Ave, Pacifica, CA Phone: Blackman (415) 701-1566

Engineer:

Mike O'Neil and Design Pacifica, CA

Code Notes

Type of Occupancy:

R-3

Construction Type:

Number of Stories:

Work to conform to:

2015 CBC, CBC, CBC, CBC, CBC, CBC, 2019 Energy Code, 2015 CBC

Data

Zoning / General Plan:

R30 - Single-Family Residential, General Zone, Medium Density Residential

Number of Units:

4 units proposed

4 unit max / 6 unit max, per Coastal & General Plan

Lot Size:

1841 sq ft, existing
4400 sq ft, proposed

7500 min. lot area
2500 min. lot area, per approved

Foot Print:

Building 7121 sq ft (15%)
Maximum of above-ground structure
9444 sq ft (20%)
Landscaping 14,536 sq ft (75%)

9200 sq ft (50%) max
10000 sq ft (25%)
4600 sq ft (25%)

Setbacks

Front Setback = 15'
Rear Setback = 64'
Side Setback = 3'
Red. Side Setbacks = 2.5'

15' min. required
20' min. required
3' min. required
4' min. required. Max area requested

Apt 1&3 size:

1 Bedroom / 2 bath apt - 1170 sq. ft. living

400 sq. ft. min.

Apt 2&4 size:

2 Bedroom / 2 Bath Apt - 1440 sq. ft. living

400 sq. ft. min.

Total Living Space:

4600 sq. ft.

10000 sq. ft. min.

Building Height:

25 ft.

25 ft. max.

Parking

27' wide and 8' deep apt. require 2.0
27' wide and 8' deep apt. require 3.0

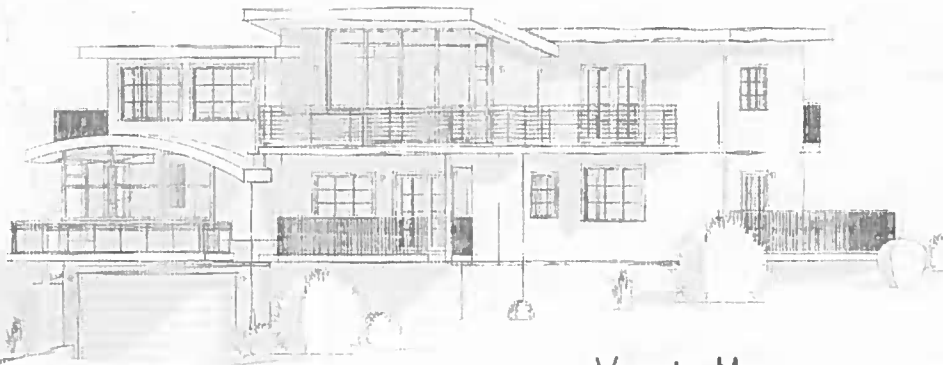
1
2

max. 1.0

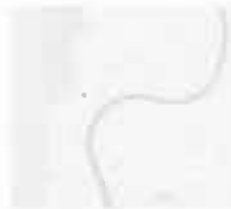
1

8' wide parking spots proposed

6' min. required



Vicinity Map



Drawing Index

A1	Cover Sheet
A2	Construction
A3	2nd Floor Plan 2&4
A4	2nd Floor Plan 1&3
A5	Site Plan



No.	Description	Date

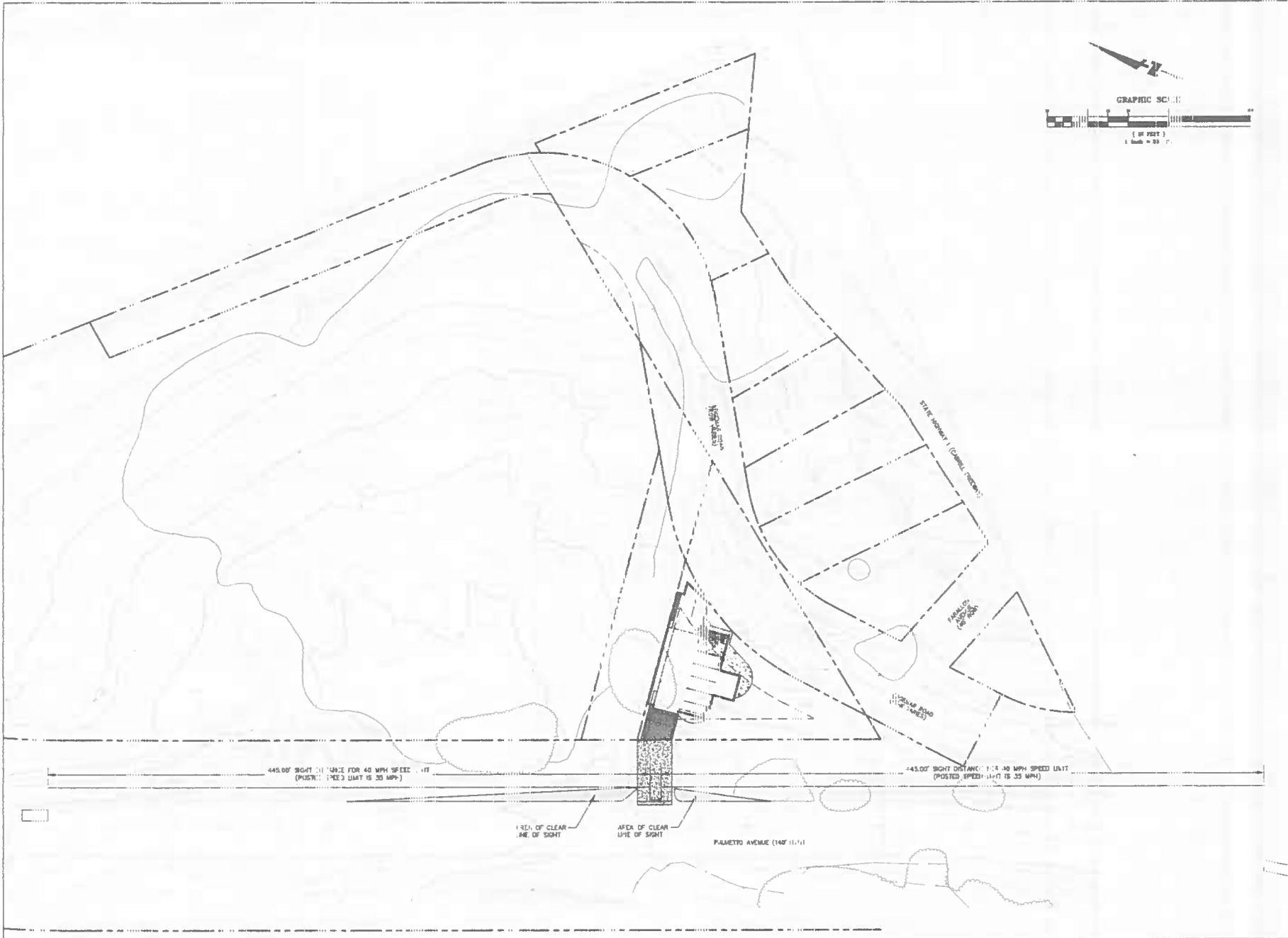
Ocean Shore Apt.
4000 Palmetto
Pacifica, CA

Cover

Project Number	Project Number
Date	June 15, 2016
Drawn by	Author
Checked by	Checker

A1

Scale



MIKE O'CONNELL, P.E.
 900 ROSITA ROAD
 PALM BEACH, FLORIDA
 PACIFICA, CA 94044
 650.933.0492

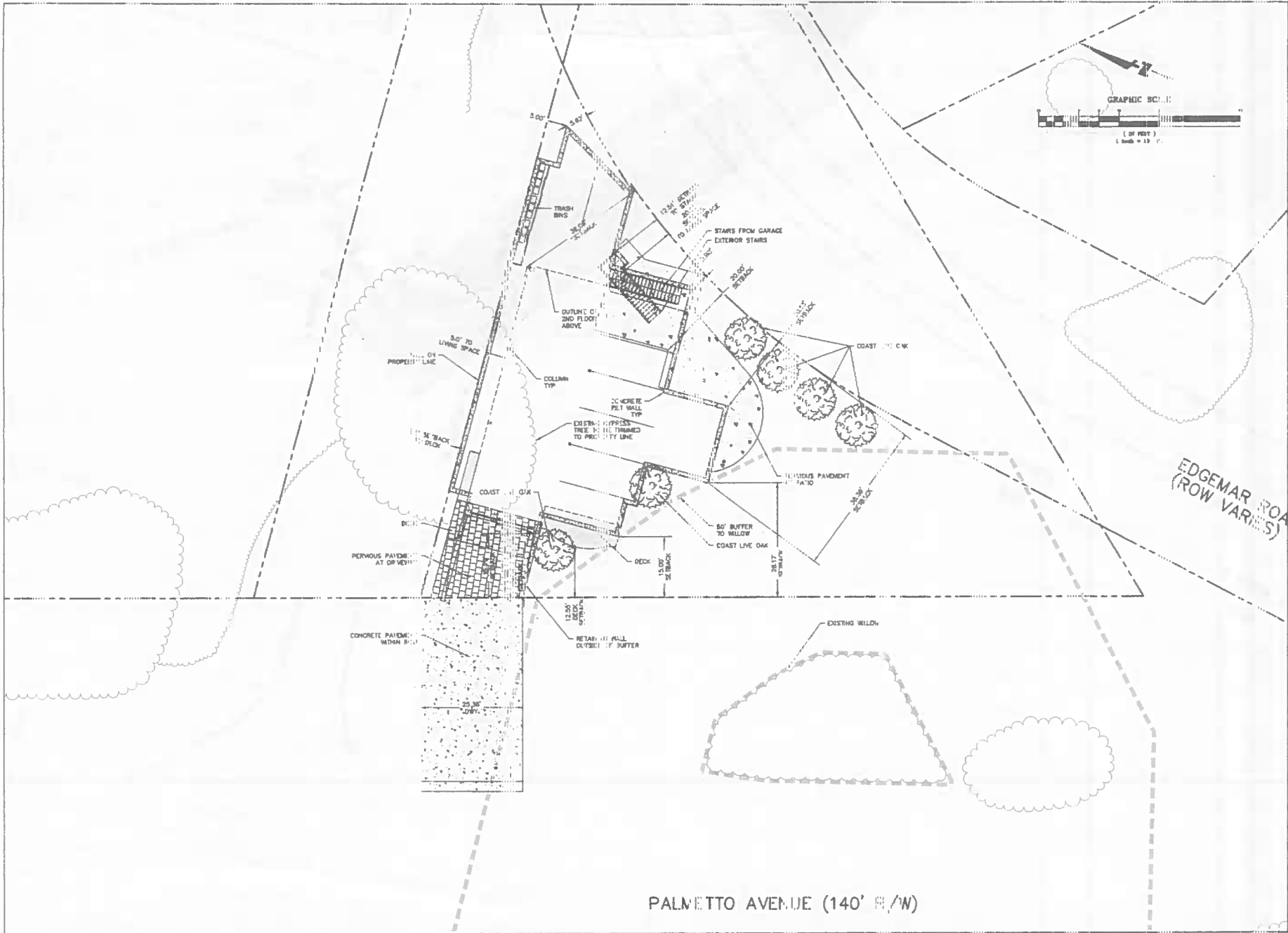
SIGHT TRIANGLES

LOCALITY: PALM BEACH COUNTY
 4531 4534 4536 4538 PALMETTO AVENUE
 EAST OF BEAVERCREEK MONUMENTS IN PALM BEACH COUNTY
 CITY OF PALM BEACH, PALM BEACH COUNTY
 PROPERTY OWNER: BEAVERCREEK MONUMENTS, LLC
 372 NORTH AVENUE
 PALM BEACH, FLORIDA 33480



DATE: 12.18.15
 SCALE: 1" = 30'
 DRAWN: MJD
 JOB NO: 2014-01
 SHEET

C5.01



ROUND HOUSE INDUSTRIES, INC.
 900 ROSITA ROAD
 PACIFICA, CA 94044

SITE PLAN

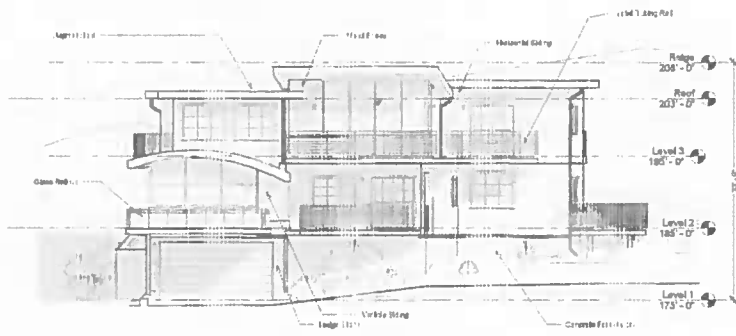
SCHEMATIC IMPROVEMENT PLANS
 4551 4555, 4556, 4557, 4558 PALMETTO AVENUE
 CITY OF PACIFICA, SAN MATEO COUNTY
 PROPERTY OWNER: OCEAN SHORE APARTMENTS, LLC
 375 JUSTIN AVENUE
 PACIFICA, CA 94044



DATE: 6.11.18
 SCALE: 1" = 10'
 DRAWING: MO
 JOB NO.: 2018-011

SHEET
C3.01

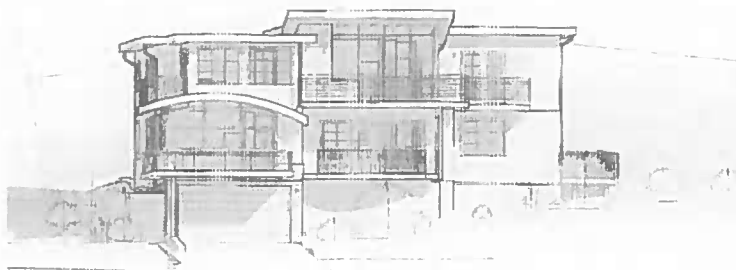
PALMETTO AVENUE (140' R/W)



1 West
1/8" = 1'-0"



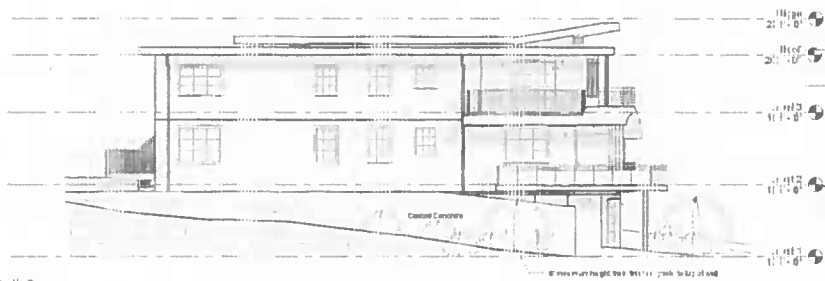
2 South
1/8" = 1'-0"



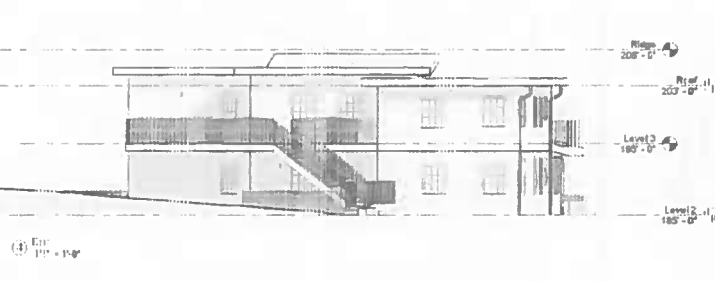
3 Ocean Front Left



4 Ocean Front Right



5 North
1/8" = 1'-0"



6 East
1/8" = 1'-0"



No.	Description	Date

Ocean Shore Apt.
4001 Palmetto
Palmdale, CA

Elevations

Prepared by	Project Manager
Drawn by	June 15, 2018
Checked by	Shawn Ryan
	Check list

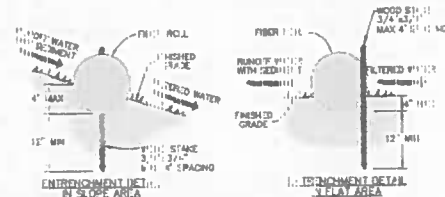
A5

Scale 1/8" = 1'-0"

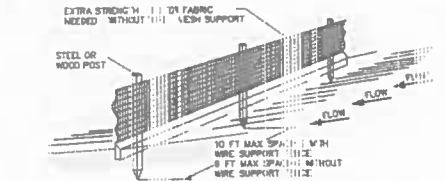
EROSION CONTROL NOTES

1. THE PLAN MAY NOT COVER ALL THE SITUATIONS THAT MIGHT OCCUR DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING SITUATIONS THAT MAY OCCUR AND FOR PROVIDING THE NECESSARY EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES TO PUBLIC AND/OR PRIVATELY OWNED ADJACENT PROPERTIES CAUSED BY THE CONTRACTOR'S GRADING ACTIVITIES AND SHALL BE RESPONSIBLE FOR THE CLEANUP OF ANY MATERIAL SPILLED ON THE PUBLIC ROAD ON THE ADJACENT PUBLIC ROAD. THE PUBLIC ROAD SHALL BE CLEANED AT THE END OF EACH WORKING DAY.
2. DITCHES AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED FROM OCTOBER 15 TO APRIL 15 OR EARLIER. VEGETATION IS ESTABLISHED ON DISTURBED SURFACES.
3. DURING THE RAINY SEASON, ALL EXPOSED AREAS ARE TO BE COVERED WITH EROSION CONTROL MATS. THE MATS ARE TO BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LOADED RUNOFF TO ANY STORM DRAIN SYSTEM.
4. BOTH PERMANENT AND TEMPORARY STABILIZATION SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES.
5. ALL EROSION CONTROL FACILITIES MUST BE MONITORED AND MAINTAINED AS REQUIRED IN THE SHEET. ALL FACILITIES SHALL BE REPAIRED AS SOON AS POSSIBLE WHEN DAMAGED.
6. CONSTRUCTION MEASURES (TIMPS, SILT BATTLES, SILT FENCE, ETC.) TO ENSURE SILT DOES NOT LEAVE THE SITE OR ENTER THE STORM DRAIN SYSTEM.
7. ALL SILT FENCES SHALL BE CLEANED PRIOR TO EXITING THE PROPERTY.
8. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES.
9. DURING PERIODS WHEN STORMS ARE FORECASTED - EXPOSED AREAS SHOULD BE COVERED WITH EROSION CONTROL MATS. EXPOSED AREAS SHOULD BE REMOVED FROM THE SITE BY THE END OF THE DAY.
10. IF STORM STORMING IS NEARBY, USE A TAMPALIN MATS SURROUNDING THE EXPOSED MATERIAL WITH FIBER ROLLS, SILT FENCE, OR OTHER RUNOFF CONTROL MEASURES TO PREVENT SEDIMENT-LOADED RUNOFF TO ANY STORM DRAIN SYSTEM.
11. DURING PERIODS WHEN STORMS ARE NOT FORECASTED - EXPOSED AREAS SHOULD BE COVERED WITH EROSION CONTROL MATS. EXPOSED AREAS SHOULD BE REMOVED FROM THE SITE BY THE END OF THE DAY.
12. DURING PERIODS WHEN STORMS ARE NOT FORECASTED - EXPOSED AREAS SHOULD BE COVERED WITH EROSION CONTROL MATS. EXPOSED AREAS SHOULD BE REMOVED FROM THE SITE BY THE END OF THE DAY.
13. DURING CONSTRUCTION, THE MAINTENANCE OF SUMMERED DRAINAGE THROUGH THE SITE IS THE RESPONSIBILITY OF THE CONTRACTOR.
14. MAINTENANCE, MONITORING AND INSPECTION SHALL BE CONDUCTED ACCORDING TO THE EROSION CONTROL PROGRAM. THE EROSION CONTROL PROGRAM SHALL INCLUDE REGULAR SITE VISITS AND REPORTS. MONITORING FORMS AND CHECKLISTS SHALL BE PROVIDED TO THE OWNER AND ENGINEER BY JULY FOR THE PREVIOUS YEAR'S ACTIVITIES.

1 EROSION CONTROL NOTES
NTS



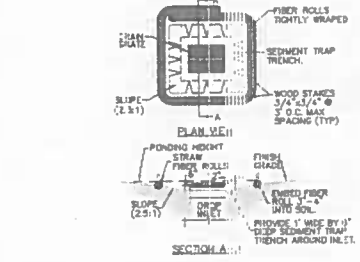
FIBER ROLL DETAIL
NTS



STANDOFF DETAIL
TRENCH WITH SILT BATTLE

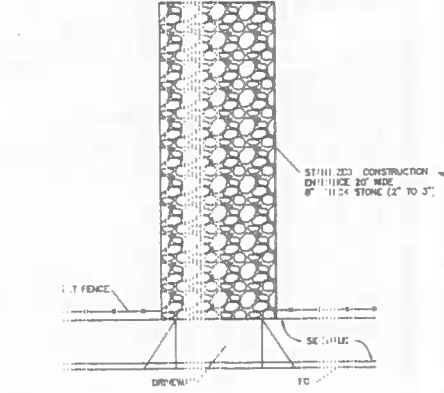
- NOTES:**
1. INSPECT AND REPAIR SILT FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE TO RUNOFF AT THE SITE AND CAUSE UNWARRANTED STABILIZED CONSTRUCTION ENTRANCES.
 3. SILT FENCE SHALL BE PLACED ON SLOPE TOWARDS TO MAXIMIZE PONING EFFICIENCY.

3 SILT FENCE
NTS



- NOTES:**
1. PLACE FIBER ROLLS AROUND ALL INLETS NEW & EXISTING. TO PREVENT FIBER ROLLS FROM CONSTRUCTION AREA WILL DRAW. FIBER ROLLS SHALL BE ROLLS MADE FROM 1/2\"/>
 - 2. FIBER ROLL INSTALLATION REQUIREMENTS: PLACE AND SECURE STAKES OF THE FIBER ROLL IN A TRENCH 3\"/>
 - 3. THE TOP OF THE STRUCTURE (PONDING POINT) MUST BE WELL BELOW THE GRADING ELEVATION DOWNHILL TO PREVENT RUNOFF FROM PASSES THE INLET ORATION OF A BASIN. ALLOW TO THE DOWNHILL SIDE. TEMPORARY DRAINAGE DOWNSIDE OF THE STRUCTURE MAY BE NECESSARY.
- (TIME FRAME - AREA 1 & 4 - BETWEEN AREA 1 & 4 INSTALLATION AND PROJECT COMPLETION
CURB INLETS - BETWEEN CURB INLET INSTALLATION AND FINAL PAVING OPERATIONS)

4 SEDIMENT BARRIER
NTS



5 STABILIZED CONSTRUCTION ENTRANCE
NTS

ROUND HOUSE INDUSTRIES, INC.
900 ROSITA ROAD
PACIFICA, CA 94044

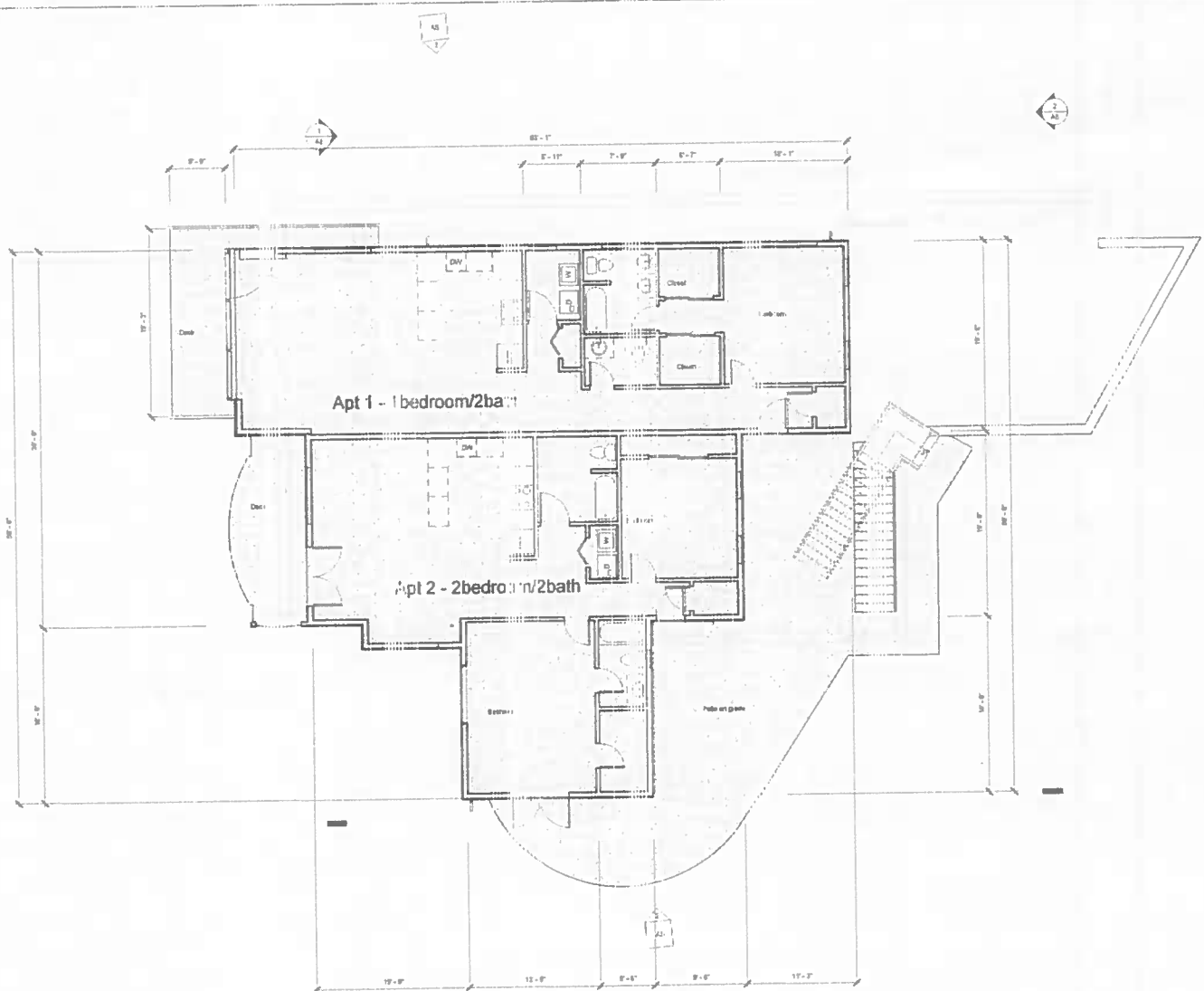
EROSION CONTROL DETAILS

EROSION CONTROL PLAN
4501 4550 4600 4650 4700 4750 4800 4850 4900 4950
CITY OF PACIFICA, SAN MATEO COUNTY
PROPERTY OWNER: OCEAN SHORE APARTMENTS, LLC
375 NORTH AVENUE
PACIFICA, CA 94044



DATE: 6.11.16
SCALE: AS SHOWN
DRAWN: MO
JOB NO.: 2016-011

C6.02



DB Construction
Palmdale, CA

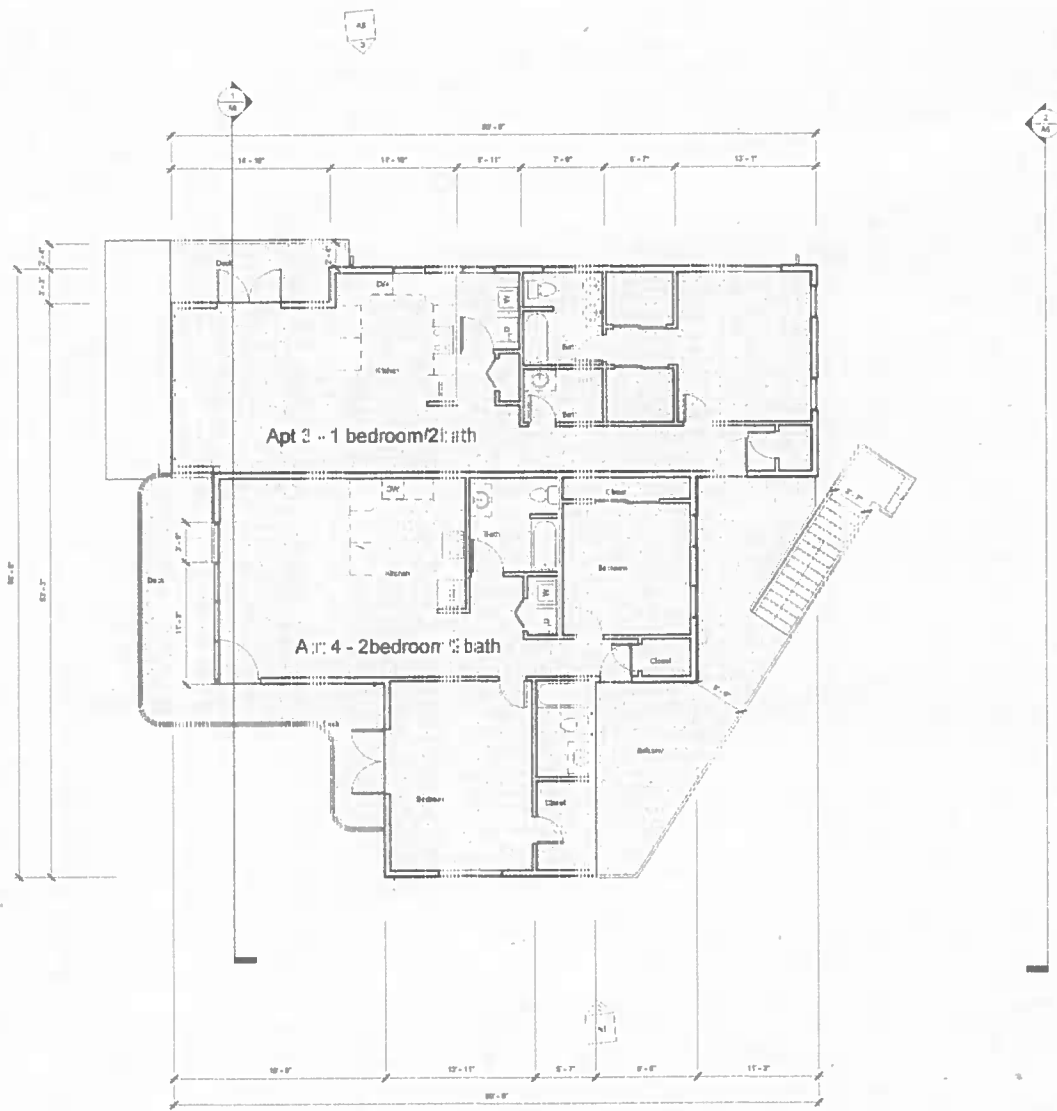
No.	Description	Date

Ocean Shore Apt.
4001 Palmetto
Palmdale, CA
2nd Floor

Project Number	Project Number
Date	June 15, 2010
Drawn by	Author
Checked by	Checker

A3

Scale: 3/16" = 1'-0"



DB Construction
Palmdale, CA

No.	Description	Date

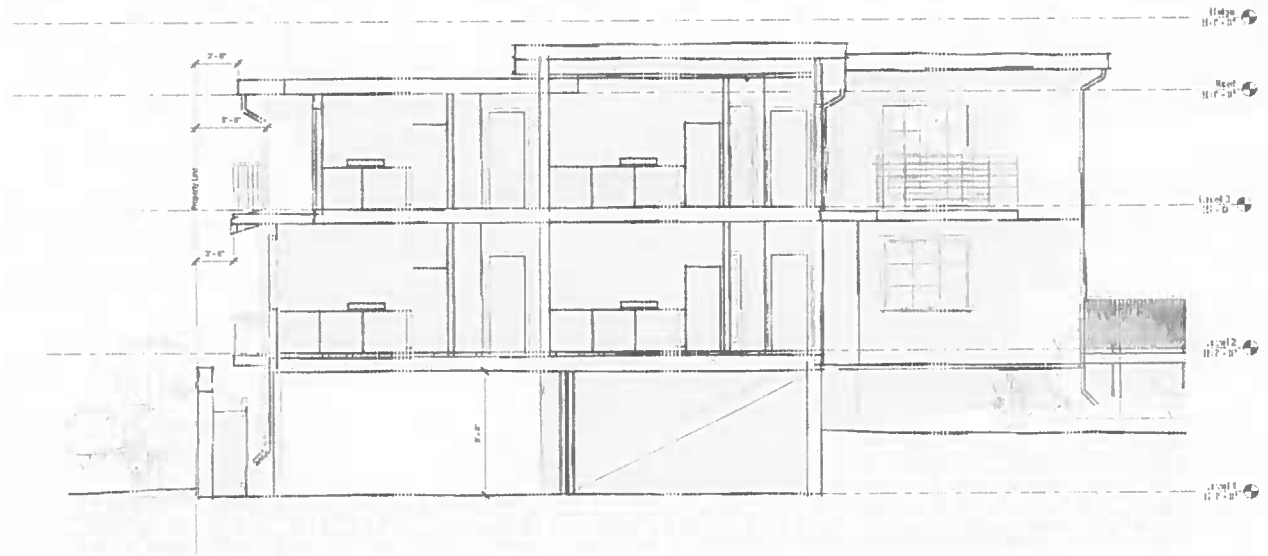
Ocean Shore Apt.
4001 Palmetto
Palmdale, CA

3rd Floor

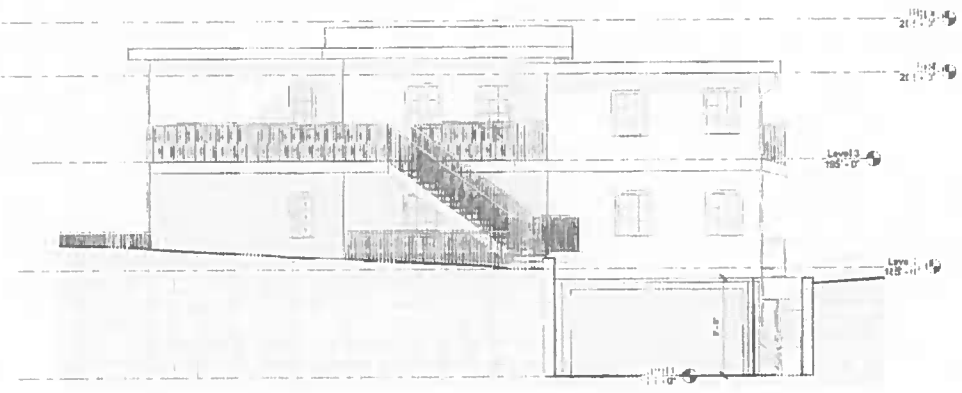
Project number	Project Number
Date	June 15, 2018
Drawn by	Ali Bah
Checked by	Cher Bah

A4

Scale: 3/16" = 1'-0"



1000 Units
1:16" = 1'-0"



1000 Parking
1:16" = 1'-0"

DB Construction
Palmdale, CA

No.	Description	Date

Ocean Shore Apt.
4001 Palmetto
Palmdale, CA

Sections

Project Number	Project Number
Date	June 15, 2010
Drawn by	Alf Har
Checked by	Chris Har

A6

Scale	As Indicated
-------	--------------

SCHEMATIC IMPROVEMENT PLANS 4551, 4555, 4559, 4561 PALMETTO AVENUE CITY OF PACIFICA, SAN MATEO COUNTY, CALIFORNIA

SHEET INDEX

C1.01	TITLE SHEET
C1.01	EXISTING CONDITIONS
C1.01	PROPOSED SITE PLAN
C1.01	GRADING, DRAINAGE, AND UTILITY PLAN
C1.01	SOFT DIMENSIONS
C1.01	EROSION CONTROL PLAN
C1.02	EROSION CONTROL DETAILS
C7.01	LANDSCAPE PLAN

OWNER / DEVELOPER

OWNER:
OCEAN SHORE APARTMENTS, LLC

BENCHMARK

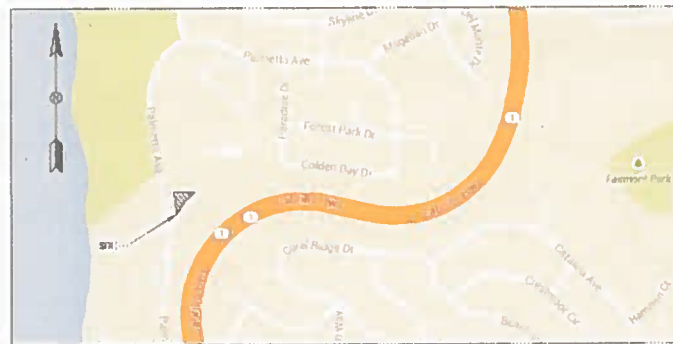
BENCHMARK STATION:
ELEVATIONS SHOWN HEREON ARE BASED UPON ASSUMED
BENCHMARK.

BASIS OF BEARING

BASIS OF BEARING STATEMENT:
BASIS OF BEARING: MEASUREMENTS IN PALMETTO COURSE PER 18 LLS
3-8

ABBREVIATIONS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
AC	ASPHALT CONCRETE	MIN	MINIMUM
AD	ARCH DRAIN	MON	MONUMENT
AP	ANCHOR POINT	NET	NET
BC	BEHIND OF CURVE, BACK OF CURB	NO	NO
BNDY	BENCH MARK	NPS	NON-POTABLE WATER
BO	BURN OFF VALVE	NUT	NUTTED SCALE
BOP	BEFORE OF PIPE	OH	OVERHEAD
BOS	BEFORE OF STAIRS	PAL	PRIORITY LINE
BS	BEHIND OF SLOPE	P&I	P&I ACCESS EASEMENT
BVC	BEFORE OF VERTICAL CURVE	PV	PURCHASE VALVE
C&G	CLUB LINE GUTTER	PCC	PERCENT COMPOUND CURVATURE
CB	CURB	PCC	PERCENT CONNECTION
CC	CORNER (EREWAY) EASEMENT	PC	PERCENT REVERSE CURVATURE
CL	CLUB HOLE	PUE	PLUMB UTILITY EASEMENT
C/L	CLUB LINE, CONTROL LINE	PUNT	PUNCTURE
C/S	CONCRETE	PR/PROP	PROPOSED
CMP	COATED METAL PIPE	PRV	PRIVATE REDUCING VALVE
CO	CONCRETE	PRD	PRIVATE STORM DRAIN EASEMENT
CONC	CONCRETE	PVC	POLYETHYLENE CHLORIDE PIPE
CONN	CONNECTION	R	RADIUS
CS	CONCRETE STRUCTURE	RCP	REINFORCED CONCRETE PIPE
CL	CLUB HOLE	RT	RIGHT OF WAY
DB	DUPLEX BURN PIPE	R/W	RIGHT OF WAY
D/W	DRAINWAY	RW	RIGHT OF WAY
E	EXISTING	S	SEWER
EC	EXISTING CURVE	S/D	SEWER DRAIN
ED	EXISTING GRADE	SDE	SEWER DRAIN EASEMENT
ESMT	EASEMENT	SDMH	SEWER DRAIN MANHOLE
EVAE	EXISTING VEHICLE ACCESS EASEMENT	S/L	SEWER LINE
EVC	EXISTING VERTICAL CURVE	SD	SEWER DRAINAGE DISTRICT
FC	FACE OF CURB	SPM	SEWER FORCE MAIN
FCC	FACE OF CURB CONNECTION	SPS	SEWER PUMP STATION
FF	FINISH FLOOR	SS	SEWER
FD	FINISH GRADE	SMH	SEWER MANHOLE
FN	FINISH FLOOR	SMH	SEWER MANHOLE
FL	FINISH LINE	ST	STAIR
FW	FINISH WATER	S/W	SEWER
G	GRASS	T	TEMPORARY BENCH MARK
GB	GRASS BREAK	TC	TRUNK CURB
GV	GRASS VALVE	TO	TOP OF GRADE
H&CPE	HIGH DENSITY POLYETHYLENE	TP	TOP OF PAVEMENT
HP	HIGH POINT	TS	TOP OF SLOPE
HP	HIGH POINT	TR	TRUNK
HY	HIGHWAY	VC	VERTICAL CURB
IR	IRON	VCP	VERTICAL CLAY PIPE
JT	JUNCTION	VOT	VERTICAL
SP	SPRINKLER	W	WATER
L	LENGTH	W&B	WATER BOOST
L/F	LENGTH FEET	W&B	WATER BOOST PUMP STATION
LP	LONG POINT	WC	WATER CLOSET
L/S	LANDSCAPE	W	WATER
LT	LENGTH	W	WATER
		W	WATER
		WSE	WATER SURFACE ELEVATION



LOCATION MAP
N.T.S.

SYMBOL LEGEND

SYMBOL	DESCRIPTION
	DETAIL WITHIN A SHEET C7.0
	DETAIL ON A SHEET C7.01
LEGEND	
	PROPOSED
	EXISTING
	BOUNDARY/RIGHT-OF-WAY
	EASEMENT LINE
	CENTERLINE
	CONTOUR LINE
	STORM DRAIN LINE
	SANITARY SEWER LINE
	WATER LINE
	GOUT TRENCH
	COMMUNICATION LINE
	UNDERGROUND ELECTRICAL LINE
	OVERHEAD UTILITY
	STORM DRAIN INLET
	STORM DRAIN MANHOLE
	SPOT ELEVATION

ENGINEER'S STATEMENT

THESE PLANS HAVE BEEN PREPARED BY ME OR UNDER MY DIRECTORIAL
SUPERVISION AND I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF CALIFORNIA.



MO-DEL. CONTROL P.E. 75811

DATE

DEVELOPMENT INFORMATION

TYPE OF DEVELOPMENT:	R3-0 SINGLE-FAMILY RESIDENTIAL MEDIAN DENSITY
PRESENT USE OF PROPERTY:	VACANT LAND
APPLICABLE STANDARDS:	CONFORM TO ALL CITY AND DISTRICT SPECIFICATIONS
CONNECTIONS TO UTILITIES:	NORTH OCEAN COUNTY WATER DISTRICT
SANITARY SEWER SYSTEM:	CITY OF PACIFICA
ELECTRICITY:	PACIFIC GAS & ELECTRIC
TELEPHONE:	AT&T
DEVELOPMENT DENSITY:	PER CITY PLAN IS SUBJECT TO MINIMUM DENSITY DURING THE 100 YEAR PERIOD
CONSTRUCTION:	1 FOOT SURFACE TOPOGRAPHIC BURNED BASED ON ASSUMED BENCHMARK
EASEMENTS:	
EASEMENT RIGHTS:	R3-0
EASEMENT DURATION:	R3-0 (30 YEAR)
PROJECT COMMENCEMENT ADDRESS:	4551, 4555, 4559, 4561 PALMETTO AVENUE
ASBESTOS PANEL NUMBER:	009-411-173

ESTIMATED EARTHWORK

CUT	300 CY
FILL	3 CY
NET	300 CY EXPORT

PROJECT DESCRIPTION

CONVERT 1 SINGLE STORY STUDY APARTMENT HOMES

ROUND HOUSE INDUSTRIES, INC.
 900 ROSITA ROAD
 PACIFICA, CA 94044
 (415) 352-1234

**IMPROVEMENT PLANS
TITLE SHEET**

SCHEMATIC IMPROVEMENT PLANS
 4551, 4555, 4559, 4561 PALMETTO AVENUE PER 18 LLS 3-8
 CITY OF PACIFICA, SAN MATEO COUNTY
 PROPERTY OWNER: OCEAN SHORE APARTMENTS, LLC
 375 BAYVIEW AVENUE
 PACIFICA, CA 94044



DATE: 6.11.18

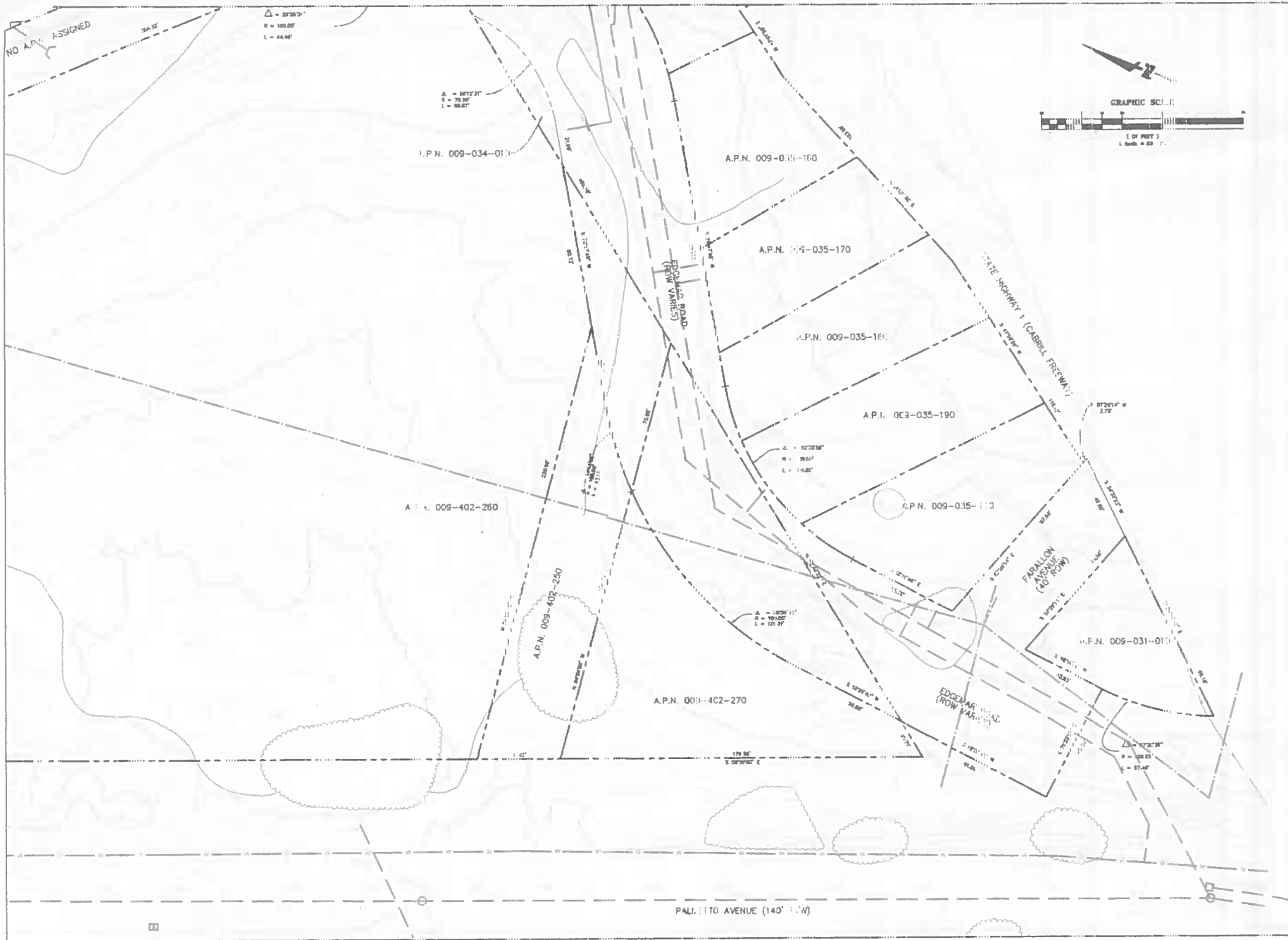
SCALE: AS SHOWN

DRAWN: MO

JOB NO: 2018-01

SHEET

C1.01



ROUND HOUSE INDUSTRIES, INC.
900 ROSITA ROAD
PACIFICA, CA 94044

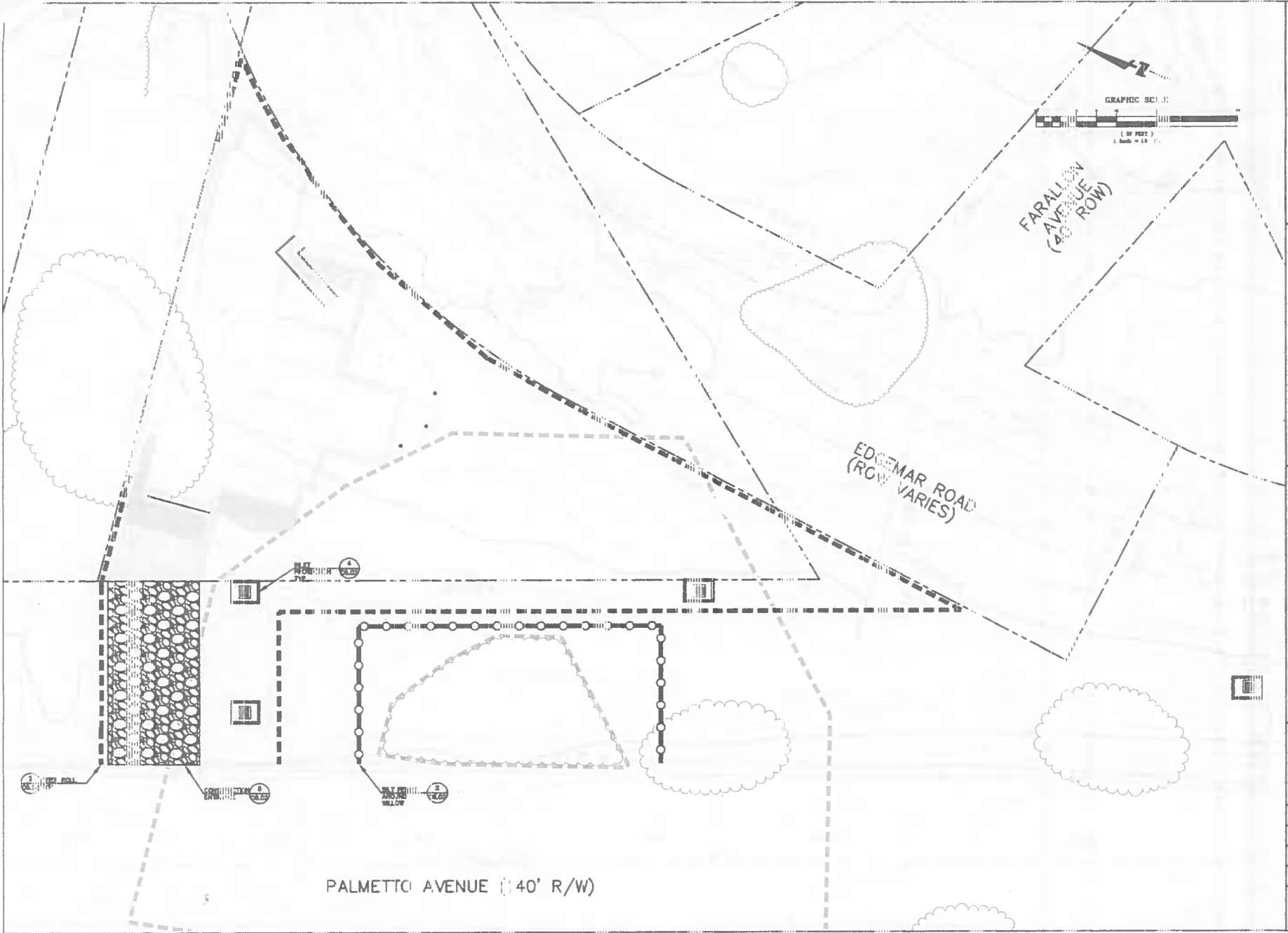
EXISTING CONDITIONS

SOCKET NUMBER: 11111
 4841, 4556, 4558, 4861 PALMITO AVENUE
 CITY OF PACIFICA, SAN MATEO COUNTY
 PROPERTY OWNER: OCEAN HOUSE APARTMENTS, LLC
 375 16TH AVENUE
 PACIFICA, CA 94044



DATE: 6.12.16
 SCALE: 1" = 20'
 DRAWN: MD
 JOB NO: 2014-C-1
 SHEET

C2.01



ROUND HOUSE INDUSTRIES, INC.
 900 ROSITA ROAD
 PACIFICA, CA 94044

EROSION CONTROL PLAN

SCHMATIC IMPROVEMENT PLANS
 4851, 4852, 4856, 4861 PALMETTO AVENUE
 CITY OF PACIFICA, SAN MATEO COUNTY
 PROPERTY OWNER: OCEAN SHORE APARTMENTS, LLC
 375 WEST AVENUE
 PACIFICA, CA 94044



DATE: 6.15.16
 SCALE: 1"=10'
 DRAWN: MD
 JOB NO: ZCH 1-C-1
 SHEET

C6.01